

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: March 10, 2005

ITEM NO. 3

CASE NUMBER/
PROJECT NAME

28-DR-2000#3
Portales Residential

LOCATION

5000 N Portales Place

REQUEST

Request approval for modification to elevations, landscape and site plans along the east side of the project site only.

OWNER

AIG Sun America
602-744-3100

ENGINEER

DMJM Design
602-337-2777

ARCHITECT/
DESIGNER

DFD Cornoyer Hedrick
602-912-2562

APPLICANT/
COORDINATOR

The Empire Group
480-951-2207

BACKGROUND

Zoning.

The site is zoned D/RC-O Type 2 PBD (Downtown Regional Commercial Office Type 2 Development Standards Planned Block Development). This zoning allows commercial and residential uses; and this property has been master planned for residential use. The site also is approved with amended development standards, including minimum front setback to allow buildings closer to Goldwater Boulevard where the street curves; spacing between buildings resulting in buildings with an interesting design yet closely spaced building edges; vertical large walls on one building which has other design components that compensate for this development standard; horizontal large walls for one building which also has other design components and a curved face which lessens the impact of the horizontal bulk; and building lines which respond to the curvature along Goldwater Boulevard and the adjoining residential area along Chaparral Road lessening the impact of the urban development at the edge of Downtown.

Context.

East: Unimproved land planned for a 6-story office building; Improved land with a multi-story office building.
South: Unimproved, master planned for residential condominium and retail use.
West: Single-family residential.
North: Single-family residential.

APPLICANT'S
PROPOSAL

Applicant's Request.

This proposal is to modify the site plan, landscape plan, and elevations for the east approximate 108-feet of the property. The proposed changes:

1. Separate the eastern singular building mass into 3 parts resulting in two 40-foot wide view corridors between each of these 3 building masses.

2. Provide a pull off for passenger loading/unloading and use by delivery/service vehicles.
3. Provide an additional driveway access from the eastern property boundary into the parking garage.
4. Modify the building configuration and increase setbacks from the east property boundary.

The proposal breaks the east building into three separate buildings with two 40-foot wide corridors between buildings. The new proposal yields more open space and allows views from a future office building east of the site towards the west, as well as from within the site towards the east.

Development Information:

- Existing Use: Unimproved
- Parcel Size: 8.12 acres net
- Number of Units: 140 dwelling units
- Parking Required/Provided: 189/294 spaces
- Building Height: 65-feet maximum height stepping through the site from the east to a lower height of 24-feet 6-inches along the north and west portion of the site.

DISCUSSION

PREVIOUS ACTION

This proposal was presented at the Development Review Board study session on January 27, 2005. The Board requested that the proposal be brought back to a hearing, citing concerns that:

- The proportions and openings presented significant change over the previous approval,
- That the proposed building needs an improved base treatment that better anchors the building to the grade, and
- That the pedestrian ways need to be examined.

ANALYSIS

The site plan labeled “Proposed First Floor Plan” by DFD CornoyerHedrick with a staff date of February 28, 2005 shows the approved building footprint in a hatch pattern and the proposed building footprint in a solid line over the hatch pattern. The elevation plans by DFD CornoyerHedrick with a staff date of February 28, 2005 show the east, north, and south proposed elevations in color and the previously approved elevation plans in black and white.

General. The affect of the proposed modifications is limited in terms of their visual impact to the community from the public right-of-way and other off-site vantage points. The pallet of materials, colors and finishes is not proposed to change and thus render the modified buildings in a style consistent with the original proposal. However, the proposed modifications represent substantial changes for users at the site level and, to a limited extent, future users of the adjoining planned corporate office buildings.

Massing and Enhancement of View Corridors. The proposal maintains the concept of stepped building masses from south to north but diverges from the existing approval by dividing the singular building mass on the eastern side of

the site into 3 separate and equally spaced building masses (at 65 feet high). Compared to the original design, the separate masses have a more compact appearance resulting from the consolidation of lesser volumes into a more inline configuration resulting in a simplified form and character. Ideally, the buildings shown on the new proposal would have an equally interesting, articulated and complex individual massing as that exhibited in the original proposal.

A second change affecting the massing and elevations is the elimination of the arcade element that has been replaced with 4 pedestrian pergolas and an entry porte cochere. The arcade of the original proposal provided a vertical transition, stepping the mass of the building to the ground. The result of this change is a building and ground plane relationship that is more dramatic and abrupt. The additional driveways for the drop off and parking access result in a loss of ground plane and building connections in some areas.

Pedestrian response. The approved plans show one access driveway into the site along the east building. The approved plans also show a pedestrian sidewalk separated from the vehicular route with landscaping and with an arcade shade. The proposed plan shows two driveways and a separate drop-off loop with its own driveways. These 4 total driveways present more paved area along the east side of the site. The pedestrian corridor is designed with two components of sidewalk: one portion which meanders through a landscape setting to the drop-off lobby beneath the porte cochere and through two pedestrian pergolas; and the other portion which is aligned adjacent to the curb of the access drive.

The porte cochere is not apparent on the site plan, and seems inconsequential on the elevation plans. A more elegant and refined area with less emphasis on the vehicular experience and a greater emphasis on the pedestrian elements could be considered for this area. Refinements could include shortening the drop off loop, adding detail to the pavement treatments, providing landscaping, benches, tables, and activity features more common for pedestrian usage.

Conclusion. The overall impact of the elevation changes is not significant. The materials, colors, heights, and step backs are consistent with the original approvals. The overall changes to the landscape and pedestrian design is less desirable but does carry forward the landscape theme.

STAFF
RECOMMENDATION

Staff recommends approval, subject to the attached stipulations.

APPROVED BY _____
Kira Wauwie
Report Author

ATTACHMENTS	1.	Applicant Narrative
	2.	Context Aerial
	2A.	Aerial Close-Up
	3.	Zoning Map
	4.	Site Plan
	5.	Elevations
	6.	Landscape Plan
	A.	Stipulations/Zoning Ordinance Requirements

5000 PORTALES PLACE

Project Narrative

25 FEB 05

Following the re-approval of the Design Review Board submittal for the project in October of 2004, the property owner informed the developer of some changes they required. The contemplated changes were the results of a meeting between the property owner and a potential Fortune 500 tenant for their future office building located directly east of the residential site.

Following some initial conversations concerning the possible scope of the changes, the development team and the property owner agreed to meet and begin a holistic review of the site. The review included an analysis of the changes to the residential site, commercial site, site circulation, view corridors, landscaping, arrival/departure sequence, and if the changes could lessen the impact on the surrounding neighborhoods.

After several months of work by the property owner, developer, and design team, a plan was developed that improved many aspects of the existing design of the site and incorporated the changes required by the property owner. Due to the approach taken, the revisions only affected the Eastern portion of the site and left all the development adjacent to the neighborhoods exactly as they were approved. Specifically, the changes include:

1. Two new forty (40') wide view corridors.
2. A defined arrival/departure drop-off area for visitors.
3. Decreased the overall unit density to 140 units vs. the approved 152 units.
4. Decreased the construction area by approximately 2,000 sf.
5. Improved garage circulation by connecting the northern garage to the southern garage allowing all areas of the garage access to the Southwest exit onto Goldwater Boulevard without going through any neighborhoods.
6. Increased setback on Eastern edge between future office and residential building which allows for additional landscaping area along private road.
7. All heights remain at or below COS Development Standards.

Based on what the team believed were minor improvements to the existing plans, we met with City staff to review the improvements required by the property owner. After a thorough review of the revisions, City Staff agreed with the development team that the changes were indeed minor and approved the revised site plan and elevations.

Additionally, they requested we assemble this package to show you the minor revisions to the plans that had previously been approved by the Board. Other than the minor plan changes, all other items (materials, colors, setbacks,) previously approved by the Board remain as submitted and approved. Please refer to the Revision Summary for details on the project revisions.

28-DR-2000#3
February 28, 2005

ATTACHMENT #1



Portales Residential

28-DR-2000#3

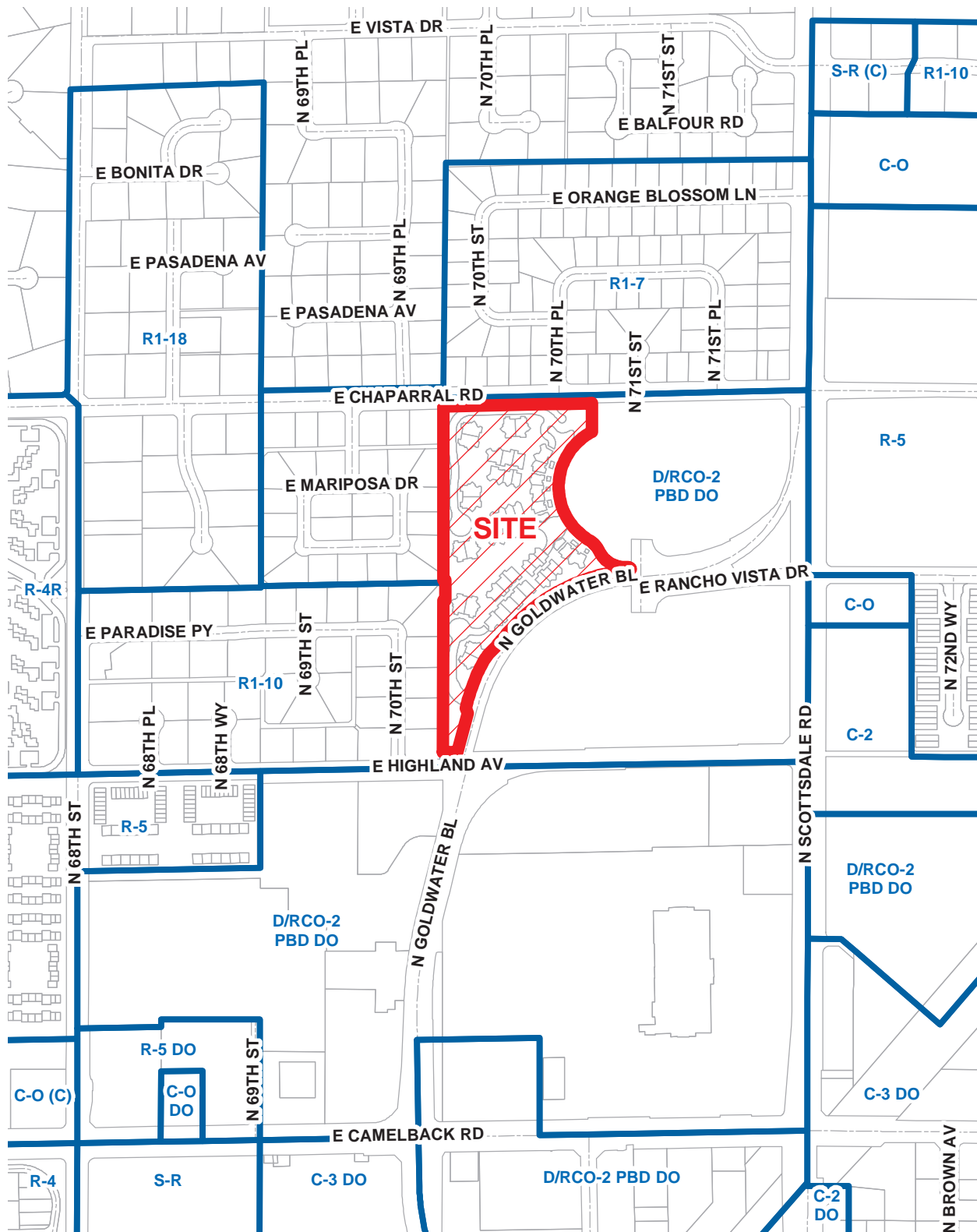
ATTACHMENT #2



Portales Residential

28-DR-2000#3

ATTACHMENT #2A



28-DR-2000#2

ATTACHMENT #3



5 STORY

3 STORY

2 STORY

Portales Revisions
Scottsdale, Arizona
97.13%
07.FEB.08

GRACE CAPITAL

28-DR-2000#3
2/7/20028

ATTACHMENT #4

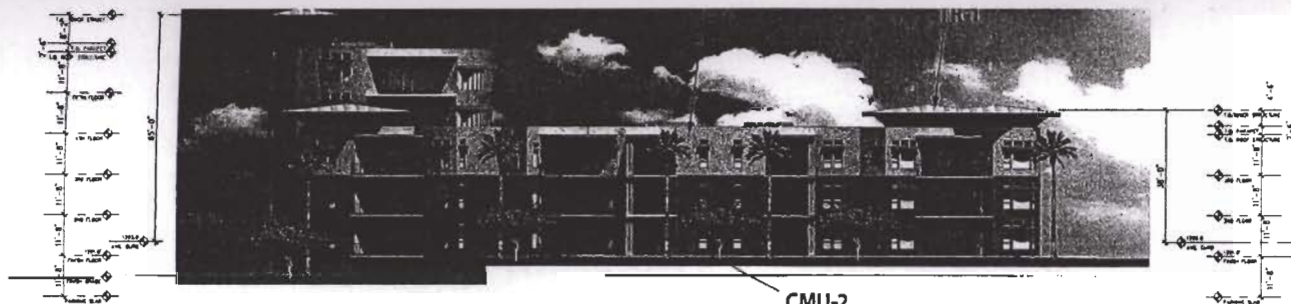


Proposed (SITE PLAN)
First Floor Plan

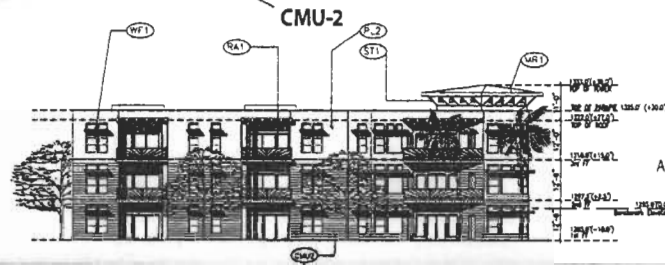
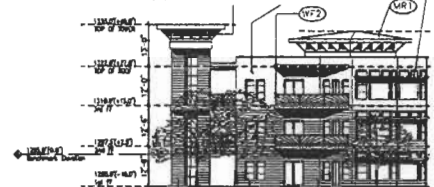
28-DR-2000#3
February 28, 2005

Portales Revisions
Scottsdale, Arizona

87129
07 FEB 05



A BUILDING 12 - NORTH ELEVATION



APPROVED NORTH ELEVATIONS
Elevations 6,7



B BUILDING 11 - SOUTH ELEVATION

Buildings 11 & 12 Revised Elevations

0' 10' 20' 30' 40' 50' 60'

All elevations are approximate and subject to change.

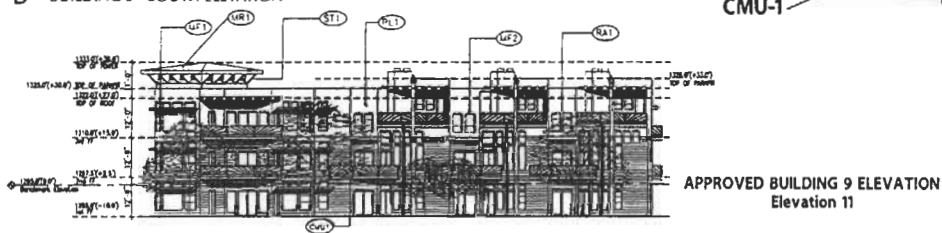
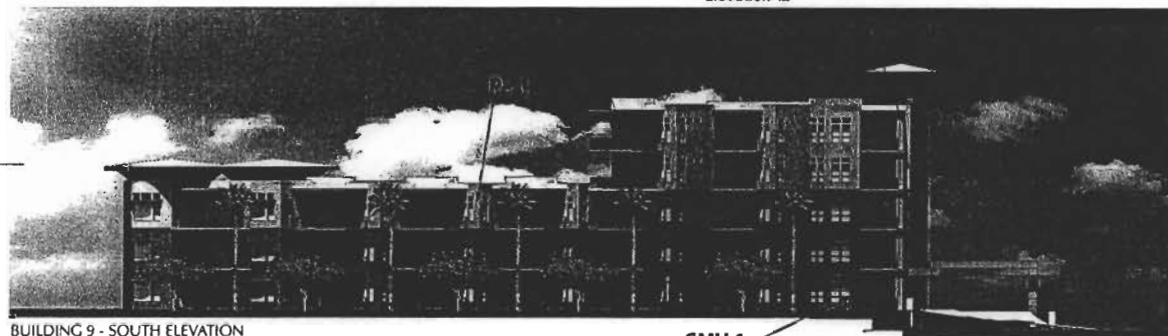
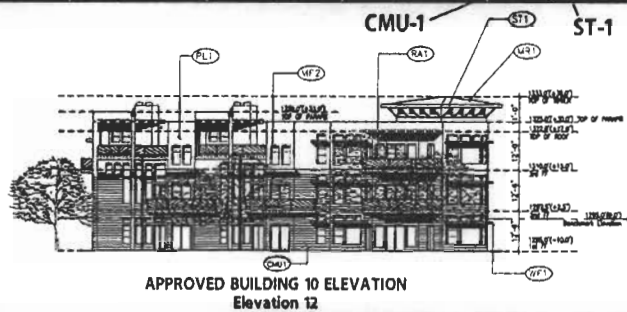
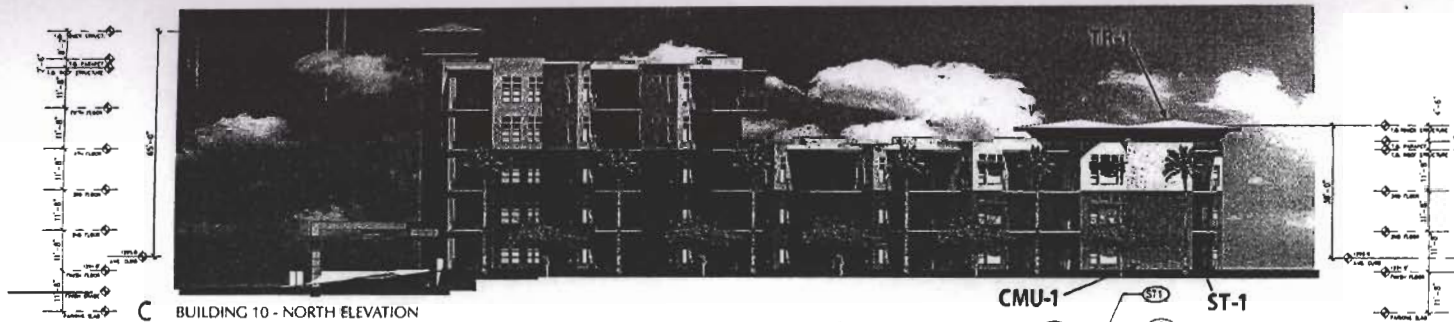
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DFO Conroy/Hedrick

ARCHITECTURE
INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING & DESIGN
ENGINEERING
ENVIRONMENTAL ARCHITECTURE
PUBLIC DESIGN



BFD Convey the Link

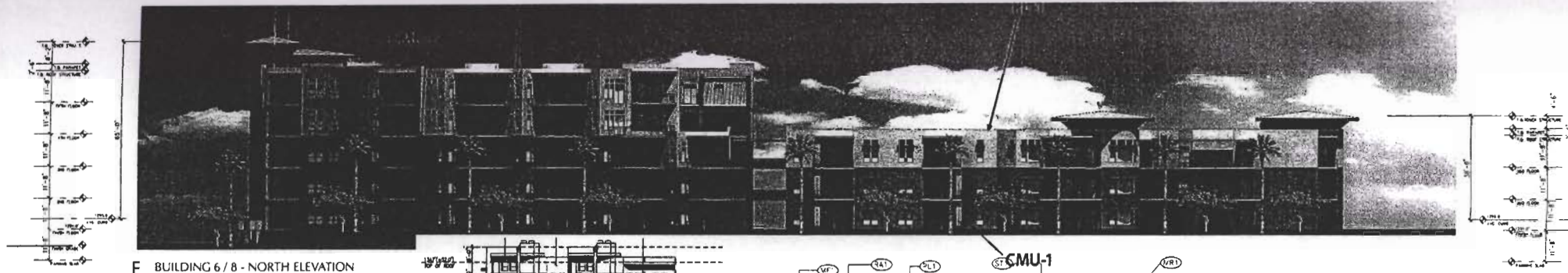
ARCHITECTURE
INTERIOR ARCHITECTURE
SPACE PLANNING
FACILITIES MANAGEMENT
LANDSCAPE ARCHITECTURE
GRAPHIC DESIGN

Buildings 9 & 10 Revised Elevations

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Scottsdale, Arizona

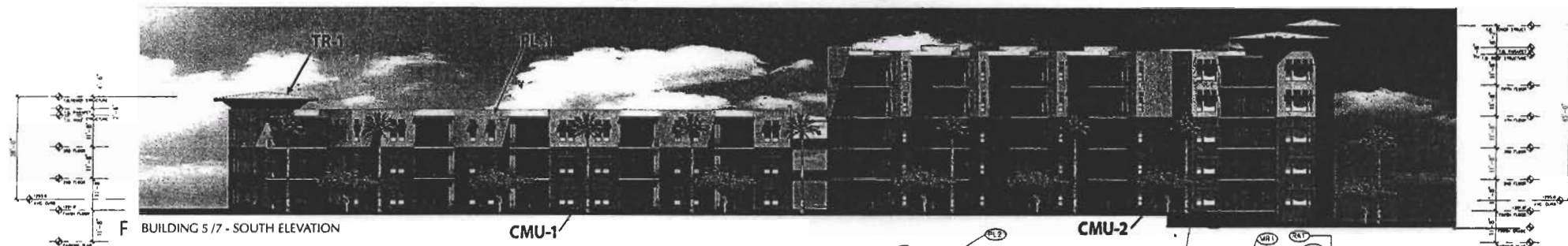
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E BUILDING 6 / 8 - NORTH ELEVATION

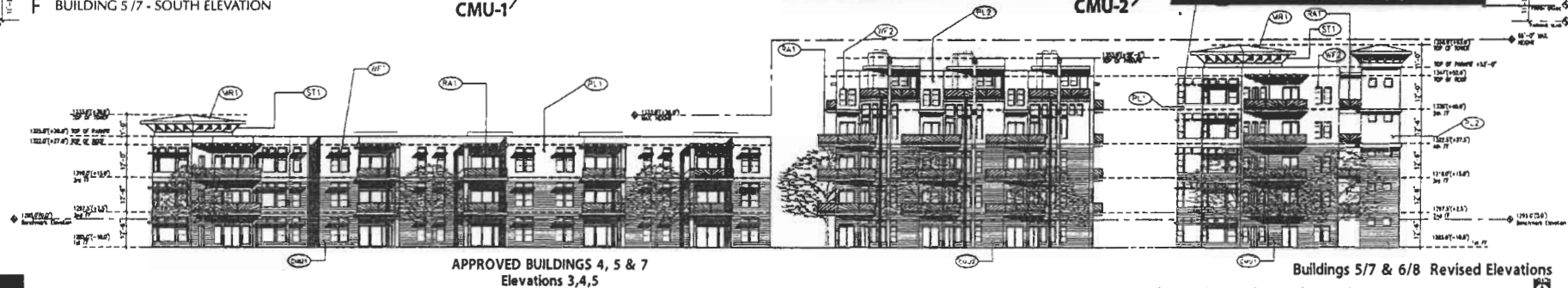
APPROVED BUILDINGS 9 & 10 NORTH ELEVATIONS
Elevations 9/10



F BUILDING 5 / 7 - SOUTH ELEVATION

CMU-1

CMU-2



APPROVED BUILDINGS 4, 5 & 7
Elevations 3, 4, 5

Buildings 5/7 & 6/8 Revised Elevations

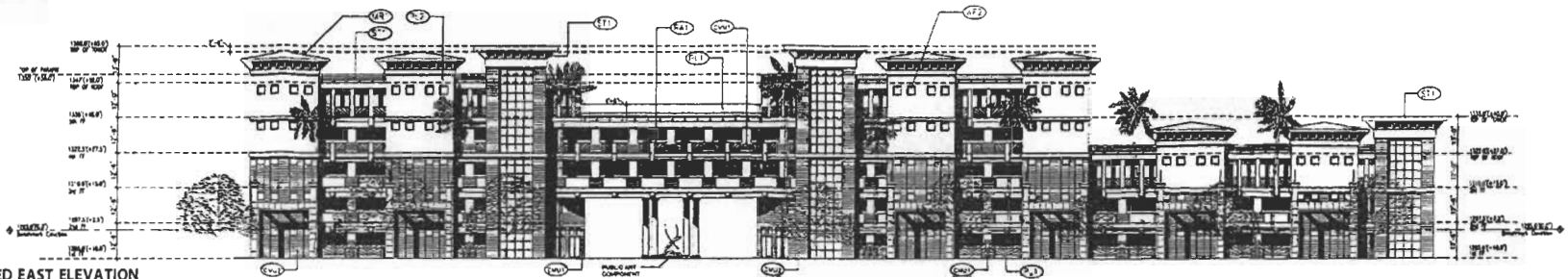
DFD Company/Redhawk

architectural
interior architecture
space planning
facilities management
and planning
landscape architecture
graphic design

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APPROVED EAST ELEVATION
Elevation 1



CMU-1
G BUILDING 5,6,9,10,11&12-EAST ELEVATION

CMU-2

CMU-1

CMU-2



Resident Walk Beyond



Building 5,6,9,10,11 & 12 Revised Elevations



East Elevation

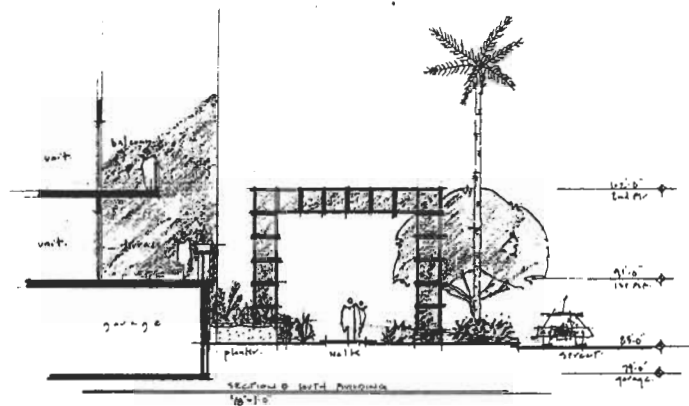
DFD ConnorsHedrick

ARCHITECTURE
INTERIOR DESIGN
LANDSCAPE ARCHITECTURE
PLANNING
ENGINEERING
AND CONSTRUCTION
MANAGEMENT
AND DESIGN

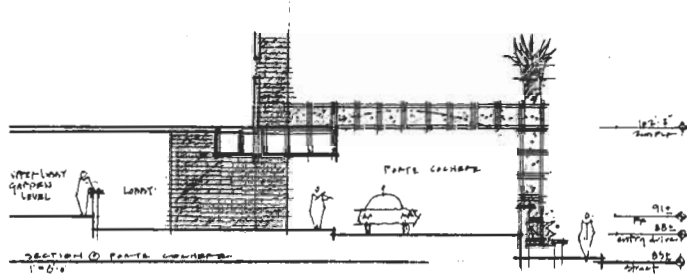
Portales Place
Scottsdale, Arizona

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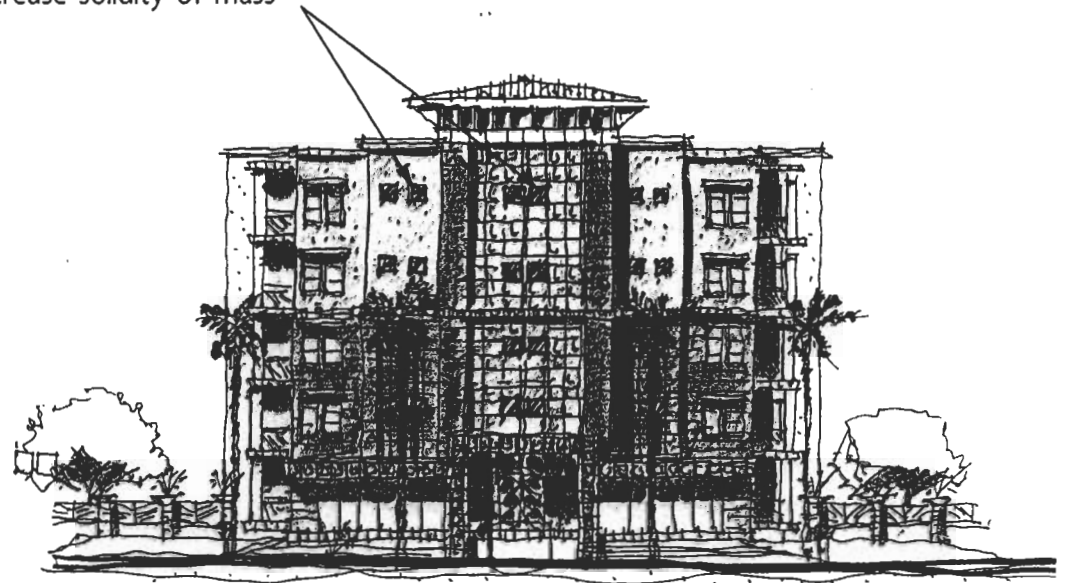


Section at Pergola



Section at Porte Cochere

Paired Punched Openings
to reflect original window design
and increase solidity of mass



Revised Elevation at Central Building

DED Concepts & Design

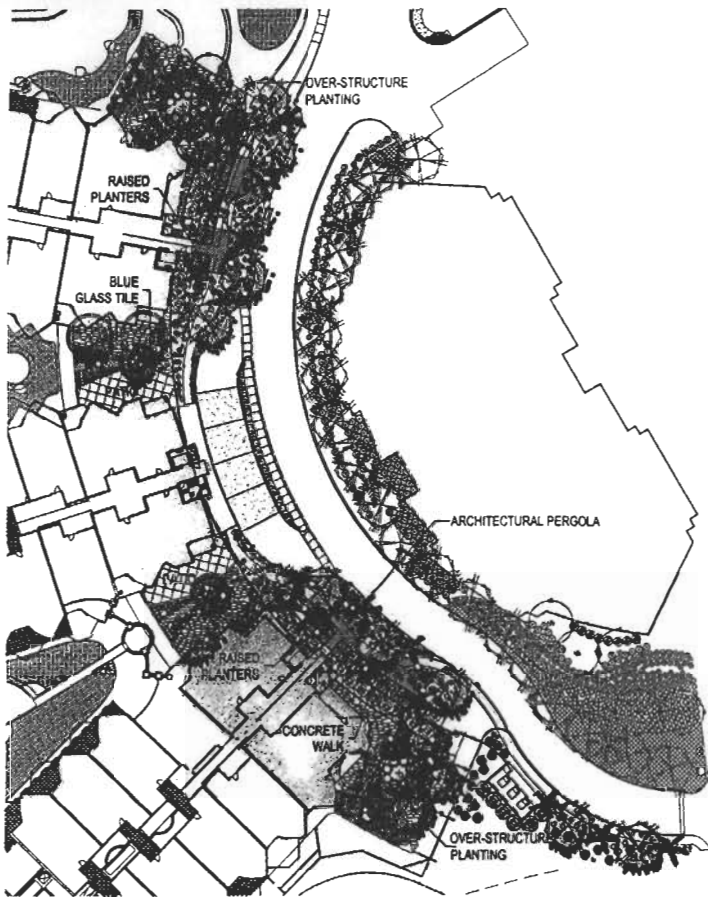
ARCHITECTURE
INTERIOR ARCHITECTURE
SCULPTURE & DESIGN
FACILITIES MANAGEMENT
ART & DESIGN
LANDSCAPE ARCHITECTURE
GRAPHIC DESIGN

0' 16' 32' 48' 64'

Portales Place
Scottsdale, Arizona

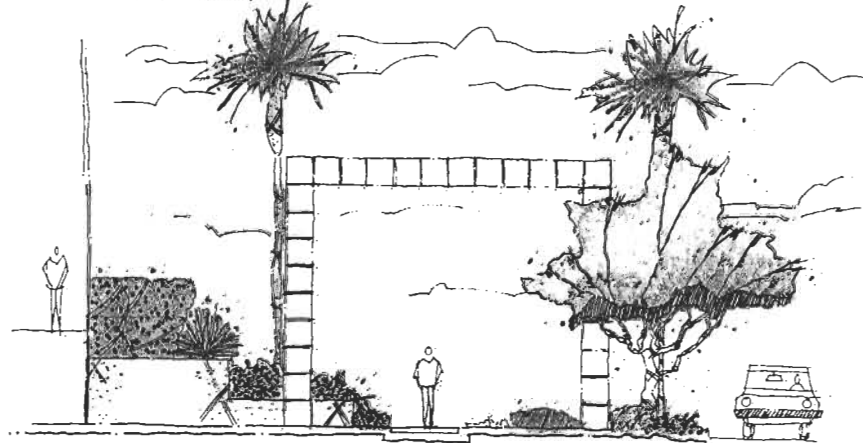
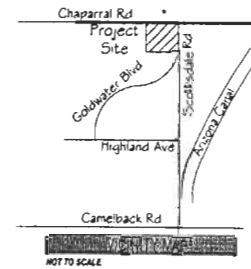
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Symbol	Common Name	Size	Quantity
TREES:			
	Date Palm	24" High	14
	Phoenix dactyloides		
	Sweet Acacia	2" Caliper	10
	Acacia farnesiana		
	Palo Verde	2" Caliper	10
	Persea formosa		
	Desert Museum	1.5" Caliper	6
	Park Orchid Tree	2" Caliper	2
	Bauhinia lanata		
SHRUBS:			
	Rio Bravo	5 gal	132
	AZ Yellow Bell	5 gal	31
	Yucca glauca	5 gal	54
	Bougainvillea	5 gal	10
	Le Jade		
	Desert Landmark		
	Holly		
ACCENTS:			
	Grand Mesquite	5 gal	16
	Hesperaloe parviflora	1 gal	74
	Ledy Palmetto	1 gal	80
	Murphy's Agave	5 gal	320
	Agave	5 gal	40
	Mexican Feather Grass		
	Nassella tenuissima		
	Red Yucca		
	Hesperaloe parviflora		
GROUNDCOVERS:			
	Reichardia	1 gal	29
	Reichardia	1 gal	269
	Yellow Dots	1 gal	67
	Hedera	1 gal	87
	Baccharis	1 gal	113
	Slam Thompson	1 gal	33
	Yellow Lantana		
	New Gold Mound		
	Trailing Purple Lantana		
	Lantana		
	Rain Lily		
	Zephyranthes		
	Decomposed Granite Color, Buff Red, 1/2" minus, 2" thick layer	Sq Ft	20,304

- 1) Development and use of this site will conform to all applicable Codes and Ordinances.
- 2) A minimum of 50% of the provided trees shall be mature in size pursuant to the City of Scottsdale Zoning Ordinance, Article 4, Section 10.301, as defined in the City of Scottsdale's Zoning Ordinance Article 4, Section 10.301.
- 3) Areas within the safety triangle are to be clear of landscaping, signs, or other visibility obstructions with a height of greater than 2 feet. Trees within the safety triangle shall have a canopy that hangs at a 1 foot above finished grade at the base of the structure. All heights are measured from the street elevation.
- 4) All plant material is to be irrigated by a fully automatic underground irrigation system unless otherwise specified.
- 5) All contained soil existing on site is to be removed from the planting areas. Backfill planting areas with soil per specifications.
- 6) After final approval the project will be accepted for zoning compliance during construction and prior to occupancy.
- 7) All new or relocated utilities will be placed underground.
- 8) Reference grading and drainage plans for slope and depth of retention basins.
- 9) All planting areas are to receive a min. 2" layer of decomposed granite. Decomposed granite is to be 1" screened Yucca Gold from a single source.
- 10) Provide an 8% slope away from walks and curbs for 5 feet along all streets, unless otherwise noted.
- 11) All signs require a separate approval and permit.
- 12) Areas in decomposed granite without plant materials shall not exceed dimensions of more than 7 feet in any one direction. Distance is measured between plant canopies, not coverage.
- 13) Reference City of Scottsdale Standard Detail #234 for reduced pressure backflow prevention. All backflow prevention devices shall be completely screened from view by dense vegetation, or screen walls of a color and texture consistent with the architecture of the buildings.
- 14) Retention and detention basins are to be constructed solely from the approved civil plans. Any alteration of the approved design (including fill, location, etc.) shall require additional review and approval of the plans.
- 15) There are no lot areas on this project.
- 16) No lighting is approved with this set of plans.
- 17) New landscaping, including selected plant materials, and landscaping indicated to remain which is destroyed, damaged, or requires during construction shall be replaced with the same kind, size, quality, and quantity prior to issuance of the Certificate of Occupancy or Letter of Acceptance to the satisfaction of the Inspection Services Staff.
- 18) All steps finished three caliper size, that is to be equal or less than 4 inches shall be determined by utilizing the smallest diameter of the trunk 4 inches above finished grade adjacent to the trunk. If such caliper size for single trunks from that are to have a diameter greater than 4 inches, shall be determined by utilizing the smallest diameter of the trunk 12 inches above finished grade adjacent to the trunk. A multiple trunk tree caliper size is measured at 6 inches above the location that the trunk splits or branches, or 6 inches above finished grade if all trunks originate from the soil.



AMEC Infrastructure, Inc.
2001 W. Camelback Rd., Suite 300
PHOENIX, ARIZONA 85015
PHONE (602) 243-2400
FAX (602) 243-2499

Portales Place
Condominiums
Scottsdale, Arizona

All information contained in this drawing is Preliminary, and Not for Construction

28-DR-2000#3
February 28, 2005

Conceptual
Landscape Plan
Date: February 24, 2005

PORTALES CORP CENTER II
5000 N PORTALES PLACE
SCOTTSDALE, ARIZONA

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
- ☒ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.
AS SHOWN

- ☒ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING AMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
- ☐ 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.
- ☒ 5. PROVIDE A KNOX ACCESS SYSTEM:
 - ☒ A. KNOX BOX
 - ☐ B. PADLOCK
 - ☒ C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.
- ☒ 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.
- ☐ 7. SUBMIT PLANS FOR A CLASS _____ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.
- ☒ 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.
 (SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)
- ☒ 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. _____

- ☒ 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.
- ☒ 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
- ☒ 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16") TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☒ 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF 3000 AT 20 GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
- ☒ 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____
- ☒ 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS _____
- ☒ 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC.
 A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.
- ☒ 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
- ☒ 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4 (NSHT)
 - ☒ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
 - ☐ WALL MOUNTED - 15' CLEAR OF OPENINGS.
- ☒ 19. THE FIRE LINE SHALL BE EXTENDED A MAXIMUM OF 3' INTO THE BUILDING WITH A MINIMUM OF _____ CLEARANCE AROUND THE FIRE RISER. EXTERIOR ACCESS REQUIRED.

20. ☒ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☐ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☒ C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.
- ☐ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.
- ☒ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.
- ☐ G.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

Stipulations for Case: Portales Residential Case 28-DR-2000#3

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions and form shall be constructed to be consistent with the building elevations submitted by DFD CornoyerHedrick dated 2/28/2005 by City staff except as follows:
 - (1) All Casita Elevations (C1, C2, C2, C4, C5, C6) shall match the elevations as approved in 28-DR-2000.
 - b. Architectural materials, and colors shall be constructed to be consistent with the Elevation Key and Building Numbers plan submitted by submitted by DFD CornoyerHedrick dated 2/28/05 by City staff.
 - c. The location and configuration of all site improvements shall be constructed to be consistent with the following:
 - (2) The site plan (labeled "Proposed First Floor Plan") submitted by DFD CornoyerHedrick dated 2/28/2005 by City staff.
 - (3) The amended development standards as approved in 76-ZN-1985 #3.
 - d. On-site landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan approved in 28-SD-2000#2 except that the landscape plan design shall conform to the revised east portion of the site as shown on the site plan submitted by DFD CornoyerHedrick dated 2/28/2005 by City staff.
 - e. Traffic calming devices on Chaparral, including landscape quantity, size, and location of materials shall be installed to be consistent with the typical traffic island planting detail submitted by EDSA (dated 9/21/2000) as approved in 28-SD-2000#2 and in accordance with the requirements of 28-DR-2000#2.
 - f. Project Walls along Goldwater shall be consistent with the typical detail as approved in 28-SD-2000 #2.
 - g. At the time of review, the applicable zoning, DRB, Use Permit, and etc. case(s) for the subject site were: 76-ZN-1985; 76-ZN-1985#4, 28-DR-2000, 28-DR-2000#2, 28-SD-2000#2 (project walls; landscape plan; south entrance), and 28-SD-2000 (duplicate case number).

ARCHITECTURAL DESIGN:

DRB Stipulations

2. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.

3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladder shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building(s) on the site in terms of color and texture.
8. Dooley wall fencing shall not be allowed.
9. All walls shall match the architectural color, materials and finish of the building(s) except as modified within 28-SD-2000 #2.

LANDSCAPE DESIGN:**DRB Stipulations**

10. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.
11. Cut and fill slopes shall be rounded to blend with the existing contours of the adjacent natural grades.

Ordinance

- A. Turf and all high-water intensive plant material not listed on the Arizona Department of Water Resources plant list shall comply with the water conservation requirements of the City code.
- B. Water features and fountains shall comply with the water conservation requirements of the City code.

EXTERIOR LIGHTING DESIGN:**DRB Stipulations**

12. All exterior luminaries shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign lighting.
13. The individual luminaire lamp shall not exceed 250 watts.
14. All light sources shall not to exceed 2700 degrees Kelvin, except adjacent to Goldwater Boulevard where the source may not exceed 3200 degrees Kelvin.
15. Pole mounted lighting shall be prohibited.
16. For all building mounted lighting intended for site illumination, the maximum height from finished graded to the bottom of the exterior luminaire shall not exceed 16 feet.
17. All exterior light fixtures shall be a flat black or dark bronze.
18. Incorporate into the project's design, the following:
Parking Lot and Site Lighting:
 - a. The maintained average horizontal illuminance level, at grade on the site, shall not exceed 1.5 foot-candles except for parking areas adjacent to Goldwater Boulevard where the level shall not exceed 2.0 foot-candles.
 - b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 6.0 foot-candles except for parking areas adjacent to Goldwater Boulevard where the level shall not exceed 8.0 foot-candles. All exterior luminaries shall be included in this calculation.

- c. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 0.3 foot-candles, except for areas adjacent to Goldwater Boulevard where the level shall not exceed 0.8 foot-candles. All exterior luminaries shall be included in this calculation.

Building Mounted Lighting:

- d. All luminaries shall be recessed or shielded so the light source is not directly visible from property line.
- e. Wall mounted luminaries shall contain house side shields, and be mounted on a minimum 4-inch long bracket that is mounted perpendicular to the wall.

VEHICULAR AND BICYCLE PARKING:

DRB Stipulations

- 19. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

ADDITIONAL PLANNING ITEMS:

DRB Stipulations

- 20. All building heights shall conform to the requirements of all applicable site case history and zoning ordinances.
- 21. No exterior vending or display shall be allowed.
- 22. Flagpoles, if provided, shall be one piece, conical, and tapered.
- 23. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

Ordinance

- C. Developer shall demonstrate compliance with the Downtown District Schedule B site development standards requirement for private outdoor living space.

ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

APPLICABLE DOCUMENTS AND PLANS:

24. Demonstrate consistency with the approved master drainage plan and report entitled Scottsdale Portales Master Drainage Report, prepared by DMJM Arizona, Inc., dated April 13, 1999, accepted by city staff April 26, 1999, and the preliminary drainage report and plan entitled 5000 Portales Place, prepared by DEI Professional Service, L.L.C., dated June 29, 2000, accepted by city staff on June 30, 2000.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

25. COMPLIANCE. The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design, reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.
26. FINAL DRAINAGE REPORT. With the final improvement plans submittal to the Project Quality/Compliance Division, the developer shall submit a final drainage report and plan, subject to city staff approval. In addition, the final drainage report and plan shall:
- a. Demonstrate consistency with the approved master drainage plan and report entitled Scottsdale Portales Master Drainage Report, prepared by DMJM Arizona, Inc., dated April 13, 1999, accepted by city staff April 26, 1999, and the preliminary drainage report and plan entitled 5000 Portales Place, prepared by DEI Professional Service, L.L.C., dated June 29, 2000, accepted by city staff on June 30, 2000.
 - (1) Any design that modifies the approved master drainage report requires from the developer a site-specific addendum to the final drainage report and plan, subject city staff approval.
 - (2) Addendum generated by the final drainage analysis for this site shall be added to the appendix of the final drainage report.
 - b. Include calculations and details that demonstrate how the storm water storage requirement will be met. The drainage exhibit shall show the location, configuration, depth of water and extents of the high water surface elevation(s). Show maximum water surface elevations of lake(s) without storm water storage and maximum water surface elevation of lake(s) with storm water storage.
 - c. Show all upstream contributing basin areas, including calculations and analysis for the peak runoff entering the site.
 - d. Include a discussion of how grading, drainage and finished floor elevations will be affected by development.
 - e. Discuss how storm water storage basins will be drained, (by gravity out-fall, pump, etc.) Include bleed-off calculations that demonstrate the discharge rate and time to drain. (Lakes shall have free board as designated in the accepted master drainage report.)
 - f. Demonstrate that historical flow through the site has been maintained and that storm water runoff exiting this site has a safe place to flow.
 - g. Include an exhibit that indicates where the site lies within the FEMA designated areas and define all pertinent FEMA designations.
 - h. Clearly reference portions of the master drainage report or include in the final drainage report appendices any calculations and/or analysis to support design concepts.
27. IMPROVEMENT PLANS. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) disc copy of the complete final drainage report and plan.
28. STORM WATER STORAGE REQUIREMENT. On-site storm water storage is required for the full 100-year, 2-hour storm event.

29. **BASIN CONFIGURATION.** Basin side slopes for detention basins shall not exceed 4:1, and the basin depth shall not exceed 3 feet.
30. **STORM WATER STORAGE ON PAVED SURFACES.** Up to 50% percent of required storm water storage may be provided in parking areas when the following conditions are met:
- Storage system shall be designed to store first 30% of required runoff volume off paved areas (to avoid ponding of nuisance water on pavement).
 - Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.
31. **BASIN OUT-FALL AND DRAIN TIME.** Storage basins must drain completely within 36-hours.
32. **BASIN CERTIFICATION.** Before the City will issue Letters of Acceptance for maintenance of any public utilities, storm water storage basins (including lakes) constructed for this site shall be verified by as-built survey. The volume of storm water storage provided shall be certified:
- As equal to or greater than design volumes required in the approved final drainage report and on the approved final improvement plans, and shall meet or exceed the required volume per City Ordinance. In writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
33. **UTILITY CONFLICT COORDINATION.** The final improvement plans shall contain a completed No Conflict Title Block on the cover sheet and be accompanied by a completed and signed No Conflict form from every affected utility company, excluding city of Scottsdale water and sewer. Final improvement plans will not be accepted by the city without this documentation.
34. **GRADING AND DRAINAGE PLAN.** A site-specific grading and drainage plan shall be submitted to the Project Quality/Compliance Division. The grading and drainage plan shall include, but not be limited to the following:
- Benchmark datum shall be based on North American Datum of 1988.
 - Show all easements and tracts.
 - Contours or sufficient spot elevations shall be shown for all abutting properties and or rights of way, and shall clearly demonstrate elevations of natural ground and or proposed structures and finished grades, existing and proposed walls or retaining walls, and shall be sufficient to reflect the impact of development on the abutting properties and improvements.
 - Show all drainage facilities including, but not limited to point(s) of roof out-fall, ditches, storm drain pipe, weirs, rip rap, and lakes and storm water storage basins (with storage volume required, V_r , and storage volume provided, V_p , noted on the improvement plans).
 - Show $Q_{(100)}$ at culvert inlets, where drainage paths converge, and at storm water entrance/exit point of the parcel boundaries.
 - Show extents of areas inundated due to a 100-year storm event.
 - Show top of curb elevations at grade breaks and at intersection corners.

OFF-SITE RUNOFF:

35. **CONVEYANCE OF PEAK DISCHARGE.** All developments shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.

FLOODPLAIN:

36. **FLOOD INSURANCE RATE MAP.** The final drainage report shall include an exhibit that indicates where the site lies within the FEMA designated areas and shall define all pertinent FEMA designations.

DRAINAGE STRUCTURES/CHANNELS:

37. **RETAINING WALLS.** The final improvement plan shall clearly show all retaining wall details. A structural design report shall be provided which includes calculations for active forces based on an associated geotechnical analysis of the soils.
38. **WATER PROOFING.** Show and define all waterproofing required to protect footers, foundations and walls below grade near and/or abutting the proposed lakes. A structural design report shall be provided which includes calculations for active forces based on an associated geotechnical analysis of the soils.

39. EROSION CONTROL. The final drainage report shall include calculations for rip-rap outlet structures using the design criteria for characteristic sizing, gradation, thickness and filter-blanket requirements from the Drainage Design Manual for Maricopa County, Volume II, Section 6.5.3.

DRAINAGE EASEMENTS:

40. DEDICATIONS. Drainage and flood control easements shall be dedicated to the city to the limits of inundation for all water courses having a discharge rate of 25 cfs or more, and for all FEMA regulatory floodways to the extent of the 100 year base flood elevation. All drainage and flood control easements, including easements for storm water storage, shall be dedicated with maintenance responsibility specified to be that of the property owner.

GRADING & DRAINAGE REQUIREMENTS:

41. EPA. Before the approval of final plans by the Project Quality/Compliance Division, a copy of the NOI must accompany final plan submittal. The EPA requires that all construction activities that disturb five or more acres obtain coverage under the NPDES General Permit for Construction Activities. Completion of a Notice of Intent (NOI) and preparation of a Storm Water Pollution Prevention Plan (SWPPP) are required by EPA. Contact Region 9 of the U.S. Environmental Protection Agency at (415) 744-1500, Arizona Department of Environmental Quality at (602) 207-4574, or web site <http://www.epa.gov/region9>. NOI forms are available in the City of Scottsdale One Stop Shop, 7447 East Indian School Road, Suite 100.
42. SECTION 404 PERMITS. Before the City issues development permits for a project, the developer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]
43. DUST CONTROL PERMITS. Prior to the start of grading on sites 1/10 acre or larger, a Dust Control Permit (earth moving equipment permit) must be obtained from Maricopa County Division of Air Pollution Control. Call the county (602- 507-6727) for fees and application information.

Ordinance

- D. On-site stormwater storage is required for the full 100-year, 2-hour storm event. The design of the storage basin capacity shall account for any proposed landscaping improvements. The landscaping improvements within the basins shall not reduce the capacity of the basins under the required volume.
- (1) Basin bleed-off rates shall be set so that the storage basins do not drain completely in less than 24 hours. Storage basins must drain completely within 36 hours.
 - (2) Infiltration of stormwater through the basin floor is not acceptable as the sole means of draining the basin. Stormwater storage basins should be designed to meter flow to the historic out-fall point. Where an historic out-fall point does not exist (or metering is not possible), other methods of discharge such as pumps, etc. may be considered.
 - (3) Stormwater storage basins may not be constructed within utility easements or dedicated right-of-way (exceptions may be granted with written approval from appropriate utility company).
 - (4) Off-site runoff must enter and exit the site as it did historically.
 - (5) All development shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.
 - (6) Drywells are not permitted.
 - (7) Shown by the engineer that at the time of the peak flow, the depth of flow over the road will not be greater than 1 foot.
44. Street Crossings:
- (A) Watercourse crossings for roads shall be designed to provide for 100-year access to all lots by at least one route. Accessibility will be considered to exist if it can be shown by the engineer that at the time of the peak flow, the depth of flow over the road will not be greater than 1 foot.

45. UNDERGROUND STORM WATER STORAGE. This site is approved to install an underground storage tank to temporarily store and discharge stormwater runoff for this site only. Improvements within the basins shall not reduce the capacity of the basins under the required volume.
- (1) ACCESS. The underground storage tank shall provide a four-foot minimum diameter manhole for access.
 - (2) RESPONSIBILITY OF MAINTENANCE. Before the approval of improvement plans by city staff, the developer shall provide the Project Quality/Compliance Division with written documentation that states the following:
 - The developer and/or his assigns agree to maintain the underground storm water storage tank in perpetuity.
 - The developer and/or his assigns, the developer's engineer and contractor assume all liability for the design, construction and maintenance of the underground storm water storage tank and hold harmless the City from any such liability.
 - (3) LIMITS OF INUNDATION. The final drainage report shall verify limits of inundation in the event the underground storm water storage tank is in partial and full conditions (not fully drained) when the 100-year, 2-hour storm event occurs. (See item 2 above.)
 - (4) BASIN CERTIFICATION. Stormwater storage basins/tank constructed for this site shall be verified by as-built survey. The volume of storm water storage provided shall be certified:
 - As equal to or greater than design volumes required in the approved final drainage report and on the approved final improvement plans, and shall meet or exceed the required volume per City Ordinance.
 - In writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
 - (5) REFERENCE PERTINENT CODE. The final drainage report shall:

Provide a copy of the Scottsdale Revised Code Section 37-45 in the appendix.

Reference the Scottsdale Revised Code Section 37-45 and emphasize the importance of maintenance for the purposes of public health and safety. (See item 2 above.)
 - (6) SIGNAGE. The improvement plans shall provide for signage at each end of the underground storage tanks. The sign shall read, " Notice Underground Storm water Storage Tank" The size, color and exact locations to be determined by city staff.
 - (7) TANK DRAINAGE. A bleed-off line from the underground storage tank to a proposed underground bleed off pipe discharging to the property line shall be provided. Storm water storage tanks should be designed to meter flow to the historic out-fall point. Where no out-fall exists (or metering is not possible), other methods of discharge may be considered.
 - (8) MAINTENANCE. Underground storage tank is to be cleaned and drained after every rain event.
 - (9) INSPECTION. Inspection of the underground storage system are required at least once a month and within 36 hours after a major storm. Inspections must be performed by an individual familiar with the onsite equipment such as a plumber.
 - (10) TANK SPECIFICATIONS. The storage tank shall be water tight with an oil and grease separator. See ASTM specifications for watertight testing.
 - (11) O & M SCHEDULE. With the improvement plan submittal to the Project Quality/Compliance Division, the developer shall submit an Operations and Maintenance (O & M) Manual. The O & M shall:
 - Identify the owner of the storage tank and the name of the firm or associations maintaining the storage tank. The contact information for the owner the maintenance associations shall list names, addresses, phone numbers and emergency phone numbers.

- Include provisions for emergency operations due to power failure, pump failure, clogged outlet structures.
- Include a maintenance log including a maintenance schedule for pump, tank/vault, inlet/outlet structures.
- Upon request, copy of the maintenance log and a certified Letter of Inspection shall be delivered to the City of Scottsdale.

ROADWAY, INTERSECTION, AND ACCESS DESIGN:

Streets and other related improvements:

STREET NAME	STREET TYPE	R.O.W. DEDICATION	ROADWAY IMPROVEMENT	CURB TYPE	BIKE PATH, SIDEWALK, TRAILS
Chaparral Road	Major Collector	Existing	Existing		5' min. sidewalk

Other dedications:

46. Right-of way: Right-of-way shall be dedicated as necessary to contain the traffic circle on Chaparral Road at 70th Place.
47. Easements: Public access easements shall be dedicated as necessary to contain any sidewalk along Chaparral Road and Goldwater Boulevard that extends outside of the public right-of-way, and over and across the site for pedestrian connections throughout the PBD.

DRB Stipulations

48. Security gates shall be located a minimum distance of 75 feet from the adjacent street curb line, as shown on the site plan. An automobile turn-around shall be provided between the gate and the street: minimum width of 50 feet.
49. One-way ingress and egress lanes shall be a minimum clear width of 16 feet.
50. Pedestrian access shall be provided around all gated vehicular entrances.
51. The developer shall construct a right-turn deceleration lane on Goldwater Boulevard at the site entrance in conformance with city standards.
52. The site driveway on Goldwater Boulevard shall be designed in general conformance with city of Scottsdale Type CH-1, Standard Detail #2257. The driveway shall be modified to accommodate the raised median.
53. Access to Chaparral shall be located at the existing traffic circle at 70th Place. The egress from the site driveway shall be designed to encourage travel to the east as shown on the submitted site plan.
54. Access from the adjacent office development to Chaparral shall be restricted by use of gates.

INTERNAL CIRCULATION:

55. The access driveways for the Casitas units shall be a minimum width of 24 feet excluding curb and gutter. The cul-de-sacs on these roads shall be designed to accommodate emergency vehicles with a minimum outside turning radius of 40 feet and inside radius of 15 feet.
56. The minimum parking and access aisle width in the parking structures shall be a minimum width of 24 feet.
57. A minimum 24-foot wide emergency and service vehicle access easement shall be dedicated over the Casita access driveways.
58. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.

OTHER:

59. The developer shall be responsible for constructing traffic calming devices on Chaparral Road per the previously approved improvement plan. At the direction of City Transportation Department staff, an in-lieu payment for the cost of this construction shall be paid to the City rather than constructing the improvements. The payment shall be made at the time of building permit issuance for the first shell permit of the first building or for the first structural permit for the first structure above grade, whichever comes first.
60. Prior to any final plan submittal, the developer shall submit a Pedestrian Circulation Plan to Community Development staff for review and approval.
61. Pedestrian paths shall be provided to connect each site building to the common recreation area.

STRIPING AND SIGNAGE PLAN:

62. A detailed striping and signage plan is required to be submitted with final plans for Chaparral Road; it shall include the following:
- a) All existing improvements and striping within 300 feet of limits of construction.
 - b) All signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.
63. All on-site parking lot striping shall be shown with the paving plans.

SIGHT DISTANCE:

64. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
65. Sight distance easements shall be dedicated oversight distance triangles.
66. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Procedures.

Ordinance

- E. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.

EASEMENTS AND DEDICATIONS**DRB STIPULATIONS**

67. Vehicular Non-Access Easement:
- b. Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontage on Chaparral Road and Goldwater Blvd. Except at the approved driveway location.
68. Indemnity Agreements:
- c. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

Ordinance**F. Drainage Easement:**

- (1) Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all FEMA regulatory floodways to the extent of the 100-year base flood elevation and for all stormwater storage basins. All drainage and flood control easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.

G. Waterline and Sanitary Sewer Easements:

(1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

REFUSE:

DRB Stipulations

REFUSE COLLECTION:

69. Prior to any final plan approval, the developer shall submit a refuse collection plan that identifies the location and type of containers for review and approval by city staff.
70. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146-1,2(2 is grease containment) for single enclosures and #2147-1,2(2 is grease containment) for double enclosures.
71. Enclosures must:
 - d. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
 - e. Be positioned to facilitate collection without "backtracking."
 - f. Be easily accessible by a simple route.
 - g. Not require backing more than 35 feet.
 - h. Not be located on dead-end parking aisles.
 - i. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

Ordinance

H. Refuse enclosures are required as follows:

- (12) Restaurants: One per restaurant
- (13) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.
- (14) Apartments: One for 0 to 20 units, Two for 21 to 40 units, Three for 41 to 60 units, etc.

I. Underground vault-type containers are not allowed.

J. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.

K. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

WATER AND WASTEWATER STIPULATIONS

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

DRB Stipulations

72. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
 - a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
 - b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

WATER:**DRB Stipulations**

73. Basis of Design Report (Water):

- a. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Water Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

Ordinance

- L. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

WASTEWATER:**DRB Stipulations**

74. Wastewater Basis of Design Report. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Wastewater Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.
75. On-site sanitary sewer shall be privately owned and maintained.
76. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.
77. The sanitary sewer shall be extended to Chaparral Road.

Ordinance

- M. Privately owned sanitary sewer shall not run parallel within the waterline easement.

CONSTRUCTION REQUIREMENTS**DRB Stipulations**

As-Built Plans.

78. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.
 - a. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
 - b. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

Ordinance

- N. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]